

This brochure has been developed by the Community Planning & Development Department in order to assist Commercial and Industrial Building Permit applicants to address civil engineering impacts of their development. Through the use of these guidelines, it will be possible to minimize processing delays. The brochure will be revised from time to time in order to remain current with improvements in our processing methods.

The Community Planning & Development Department have the overall responsibility for the building permit process. Applicants should ensure zoning, subdivision and/or development permit requirements have been addressed prior to preparing a building permit application. Please contact the Community Planning & Development Department for clarification of these requirements.

The applicant should also be aware that most building permit applications necessitate the payment of Development Cost Charges (DCCs).

Reference:

The intent of this brochure is to inform building permit applicants that off-site and frontage improvements are commonly required by the City. For engineering design guidelines and construction specifications on building permit applications, please refer to the Delta Subdivision & Development Standards Bylaw No. 7162, as amended. Applicants may purchase a copy of this bylaw at the Clerk's Office, Second Floor, Delta City Hall. Details on Development Costs Charges are available in Bylaw No. 7560, 2017, as amended, which is available at the Clerk's Department.

Timing:

The timing of Engineering Section input to a Building Permit application will vary with the extent of off-site improvements required, level of information initially provided by the civil engineer with the building permit application, and the timely response to comments or questions provided by the Development Technologist.

Development Cost Charges:

For most applications, Development Cost Charges (DCCs) are payable prior to issuance of a Building Permit. Current **Delta DCCs** for industrial and commercial Building Permits are summarized as follows:

Industrial	\$102,441	per developed hectare
Industrial Annacis Island	\$53,112	per developed hectare
Commercial	\$28.48	per square metre of building floor area

Current Metro Vancouver Sewer (**G.V.S. & D.D.**) DCCs are:

Industrial & Commercial	\$2.67	per square foot of building floor area
-------------------------	--------	--



SUGGESTED STEPS TO SATISFY DEVELOPMENT ENGINEERING SECTION BUILDING PERMIT ISSUES

STEP 1: DISCUSS YOUR PROPOSAL WITH DELTA STAFF

Prior to submitting a Building Permit Application, a discussion of the proposed development project with Delta staff can help identify potential project requirements early in the development process.

STEP 2: ENGINEERING CONSULTANT

In most cases a Professional Engineer experienced in civil engineering will be required to prepare engineering drawings for the project. All design and drawing standards should be in accordance with good engineering practice, and the current Subdivision and Development Standards Bylaw. Engineers not familiar with Delta's development standards and drawing requirements are advised to contact a Development Technologist prior to design preparation.

STEP 3: WHAT TO SUBMIT

- Site servicing drawing complete with off-site frontage improvements;
- Detailed lot grading plan;
- Water Consumption sheet; and
- Sanitary sewer discharge calculation.

A typical site servicing plan is provided within this brochure, in order to show the level of detail required with the building permit application. The water consumption sheet is available at Delta City Hall or online at www.delta.ca. The level of detail and clarity provided on the engineering drawings can have a significant impact on the time required to process a building permit application. As a general rule, designers should pay particular attention to the following:

- Consider the impact of the development application on the existing and proposed infrastructure beyond the property line. The amount of frontage improvements, such as sidewalk, curb & gutter, ornamental street lighting, underground hydro servicing, drainage, etc. must be determined. Consider invert elevations and offsets of existing services, location of all existing improvements on or adjacent to the site, and the adequacy of the existing improvements adjacent to the site;
- Identify potential on-site development constraints;
- Orient the drawing with the north arrow pointed towards the top of the page;
- Use a metric scale, preferably @ 1:250 or 1:500, on A-1 size paper;
- Include general and site specific construction notes;
- Clearly define existing versus proposed infrastructure; and
- Overlay proposed landscaping plan to identify potential servicing conflicts.



STEP 4: WHAT TO EXPECT FROM THE ENGINEERING SECTION

- Review of site servicing plans and other engineering plans for conformance to the Subdivision & Development Standards Bylaw and good engineering practice;
- Identification of right-of-way and dedication requirements;
- Written comments to the applicant and/or civil engineer related to the drawing submissions and engineering reports;
- Estimated costs for the works provided by the City;
- Preparation of a Building Permit Servicing Agreement, when required; and
- Review of the water consumption sheet to verify the adequacy of water and sanitary sewer mains for the proposed development.

STEP 5: REQUIREMENTS OF THE ENGINEERING SECTION

- Acceptable re-zoning, subdivision and/or development permit application, if required;
- Receipt of acceptable site servicing drawings and related engineering plans or reports;
- Receipt of an acceptable water consumption sheet and sanitary sewer discharge calculations
- Receipt of fees and securities including DCCs; and
- Receipt of an executed Building Permit Servicing Agreement, right-of-ways and other legal documents when required.

GLOSSARY

Building Permit Servicing Agreement

An agreement between the City and the Applicant that stipulates the terms and conditions of Building Permit issuance, when off-site engineering works are required.

Development Cost Charges

A cost assigned to partially offset the effect and cost of development on the City. DCCs include Delta DCCs and Metro Vancouver DCCs.

Easement

A defined corridor on private property to accommodate the installation and maintenance of private utilities. A legal survey plan and document will be registered on the land title.

Frontage Improvements

Upgrades to the existing municipal roads, sidewalks, lighting, water, sewer and drainage systems outside of private property, which are required to obtain a Building Permit.

Off-site

The area referred to as the municipal road allowance, or the area outside of private property.



Oil/grease Interceptor

A chamber that allows the catchment of paved parking lot drainage, which separates oil and grease from surface drainage. The interceptor requires regular maintenance by the owner.

On-site

The area referred to as private property, or the area contained within the building permit application.

Restrictive Covenant

A document which specifies the terms and conditions relative to the use of private land which is registered on the land title and is a legally binding agreement.

Road Dedication

Additional private land to be transferred to the City, which is required to accommodate the off-site infrastructure. A legal survey plan will be registered at the Land Title Office.

Sanitary Sewer Sampling Station

A chamber installed on the sanitary service connection that allows access to Delta and Metro Vancouver staff to sample and monitor effluent discharged from private property.

Soil Anchors

Anchored rods for any project involving deep excavation. If soil anchoring is required, a highway use permit must be obtained.

Statutory Right-of-Way

A defined corridor on private property to accommodate the installation and maintenance of municipal utilities. A legal survey plan and document will be registered on the land title.

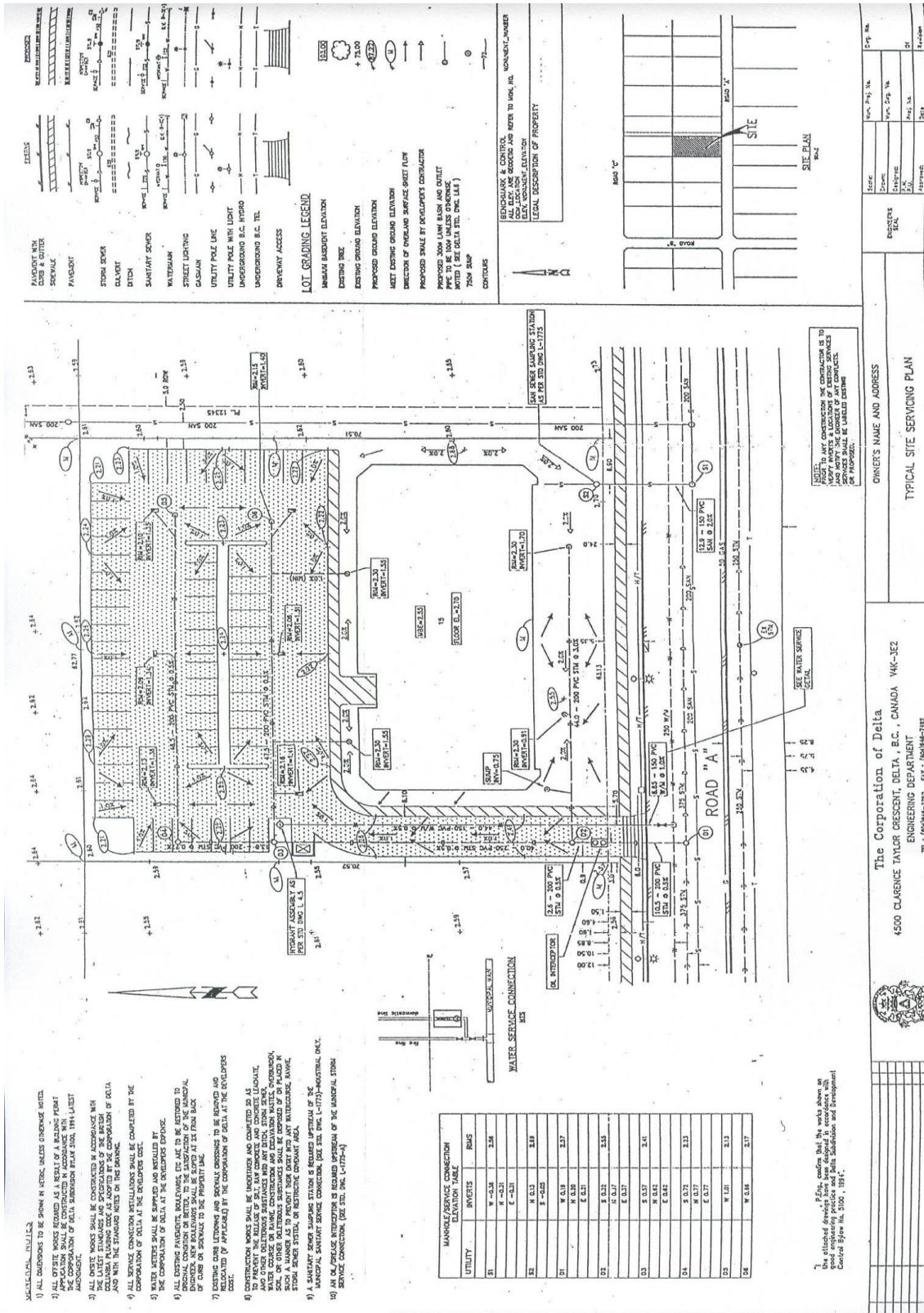
Subdivision & Development Standards Bylaw

A comprehensive document which details design and construction requirements for all development applications in Delta.

Water Meter

A device located in a chamber at property line on water services in order to measure water consumption.





- 1) ALL DIMENSIONS TO BE SHOWN IN METERS, UNLESS OTHERWISE NOTED.
- 2) ALL OFFICE WORKS SHOWN AS A RESULT OF A BUILDING PERMIT SHALL BE SHOWN IN METERS IN ACCORDANCE WITH THE COMPARISON OF DELTA BUILDING PERMIT BOOK WITH LATEST AMENDMENT.
- 3) ALL OFFICE WORKS SHALL BE CHECKED AND APPROVED WITH DELTA ENGINEERING DEPARTMENT AS PART OF THE COMPARISON OF DELTA BUILDING PERMIT BOOK AS ADOPTED BY THE CORPORATION OF DELTA AND WITH THE STAMPED NOTES ON THE DRAWING.
- 4) ALL SERVICE CONNECTION INSTALLATIONS SHALL BE COMPLETED BY THE CONTRACTOR OF DELTA AT THE DEVELOPER'S COST.
- 5) ALL EXISTING MANHOLES SHALL BE REPAIRED TO THE ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPAL ENGINEER OF DELTA, AT THE DEVELOPER'S EXPENSE.
- 6) EXISTING CURB LIGHTINGS AND SIGNALS CONNECTIONS TO BE REMOVED AND REINSTALLED BY THE CORPORATION OF DELTA AT THE DEVELOPER'S COST.
- 7) ALL EXISTING MANHOLES SHALL BE UNBLOCKED AND COMPLETED TO ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPAL ENGINEER OF DELTA, AT THE DEVELOPER'S EXPENSE.
- 8) ALL OTHER BUILDINGS AND STRUCTURES SHALL BE REPAIRED OR DEMOLISHED AS PER THE BUILDING PERMIT BOOK, UNLESS OTHERWISE NOTED.
- 9) A SANITARY SEWER SERVICE CONNECTION SHALL BE PROVIDED TO THE MAIN SANITARY SEWER SERVICE CONNECTION (SEE STA. ETC. L-1773)-INDUSTRIAL DISTRICT.
- 10) AN OIL/GAS/SEWER INTERSECTION IS REQUIRED UNDERNEATH OF THE MAIN SANITARY SEWER CONNECTION (SEE STA. ETC. L-1773-A).

NOTE: P.E. confirm that the works shown on this attached drawing have been designed in accordance with the Ontario Building Code, 1997, and the Ontario Building Code, 2001, 1997.

NO.	REV.	DATE	BY	CHK.

NO.	REV.	DATE	BY	CHK.

NO.	REV.	DATE	BY	CHK.

NO.	REV.	DATE	BY	CHK.

OWNER'S NAME AND ADDRESS
 TYPICAL SITE SERVICING PLAN

The Corporation of Delta
 4500 CLARENCE TAYLOR CRESCENT DELTA, B.C., CANADA V4K-3E2
 ENGINEERING DEPARTMENT
 TEL: (604) 944-3380 FAX: (604) 944-7182

